



HOWARD COUNTY HISTORIC PRESERVATION COMMISSION

ELlicott CITY HISTORIC DISTRICT ■ LAWYERS HILL HISTORIC DISTRICT

3430 Court House Drive ■ Ellicott City, Maryland 21043

Administered by the Department of Planning and Zoning

www.howardcountymd.gov

410-313-2350

FAX 410-313-3467

TDD 410-313-2323

HPC EXECUTIVE SECRETARY EXEMPTION DETERMINATION FOR MINOR ALTERATIONS AND TAX CREDIT PRE-APPROVAL

APPLICANT INFORMATION:	PROPERTY INFORMATION:
James Stewart 3801 Old Columbia Pike Ellicott City, MD 21043	Property Address: 3801 Old Columbia Pike, Ellicott City
	Minor Alteration Case Number: MA-21-40
	Property Information: Map 251, Parcel 316
OWNER INFORMATION:	HISTORIC DISTRICT INFORMATION
James and Elizabeth Stewart 3801 Old Columbia Pike Ellicott City, MD 21043	Ellicott City Historic District <input checked="" type="checkbox"/>
	Lawyers Hill Historic District <input type="checkbox"/>

PROPOSED WORK:

The Applicant proposes to make a few alterations from work approved in HPC-20-54, which includes:

- 1) Extending the ridgebeam to the chimney to provide sufficient structural support for the entire roof. This work is interior and is for tax credit pre-approval only (20.112 and 20.113, and was previously approved for the prior method of repair).
- 2) Installing two new windows in the attic after determining the existing two French casement windows are not historic. The Applicant proposes to replace the existing casement windows, with smaller windows to allow for more space between the window sill and adjacent hyphen roof, to provide adequate flashing and prevent future log damage. The existing casement windows are 38 inches high and are too close to the adjacent hyphen roof which does not allow for adequate roof/wall flashing and has led to significant damage to the surrounding log construction. The proposed new windows will be Marvin Ultimate wood windows in an awning pushout style to be 26" by 30". The Applicant seeks tax credit pre-approval for the work (20.112 and 20.113).
- 3) Changes to new construction approved in 20-54 – The Applicant no longer wants to have a window in the new bay next to the door and will leave the wall solid, clad in cedar shingles to match the existing on the house. The remainder of the windows on the new addition will be reduced in size, to be more similar to the size of the existing double hung windows on the house. The transom in the new bay will also be removed and the windows will be moved up 1 foot higher to line up with the top of the existing window on the house (seen in sheet A6). With the windows moved up one foot, there will be a gap between the stone and the bottom of the windows, which will also be filled in with cedar shake to match the existing on the house.

COMPLIANCE WITH GUIDELINES:

The Executive Secretary has determined that the proposed work is considered a minor alteration and is consistent with the Guidelines as referenced below.

Chapter 7: New Construction: Additions, Porches and Outbuildings

- 1) Design windows to be similar in size, proportion and arrangement to the existing windows. On historic buildings, or any building visible from a public way, windows should have true divided lights rather than interior or sandwiched muntins. A possible alternative is windows that do not have divided lights but have permanent exterior grilles, appropriately detailed to be compatible with historic wood windows.
- 2) For frame construction, use wood siding or wood shingles similar in appearance to the siding or shingles on the existing building.

COMPLIANCE WITH COUNTY CODE SECTION 20.112 FOR TAX CREDIT PRE-APPROVAL:

The Executive Secretary has determined that the proposed work is eligible for historic property tax credits and is consistent with the County Code as referenced below.

- 1) The repair or replacement of exterior features of the structure;
- 2) Work that is necessary to maintain the physical integrity of the structure with regard to safety, durability, or weatherproofing;
- 3) Maintenance of the exterior of the structure, including routine maintenance as defined in section 16.601 of the County Code.

Date Posted to HPC Website:	Executive Secretary Signature
12/20/2021	<div>DocuSigned by: <i>Beth Burgess</i> 12/20/2021 2009CCB91D534A7... Beth Burgess, Executive Secretary Date Historic Preservation Commission</div>

**3801 Old Columbia Pike, Ellicott City
Minor Alteration Determination**

AFTER 5 DAYS POSTING ON WEBSITE:

Written Objection WAS NOT Received:	Written Objection WAS Received:	Date Issued:
<input type="checkbox"/> No written objection was received and the proposed work was determined to be a minor alteration, not requiring Commission approval.	<input type="checkbox"/> Yes, a written objection was received. A Certificate of Approval is required.	
Executive Secretary Signature		
<div>Beth Burgess, Executive Secretary Date Historic Preservation Commission</div>		

IMPORTANT APPLICANT INFORMATION

1. As the work progresses, if you find that changes to the pre-approved work are necessary, you must contact the Historic Preservation Commission Staff representative to determine if the proposed changes must be approved.
2. In order for labor to be eligible for the tax credit, the contractor must hold an active MHIC license or other applicable license. All invoices must include the contractor's license number and a clear, itemized scope of work for each item being claimed.
3. Submit receipts and canceled checks for materials or contracts showing that the invoice has been paid. Copies of receipts are acceptable.
4. Indicate the total amount of tax credit being claimed on the application form.
5. Submit photographs showing the completed work.

When the work has been completed, submit the Final Tax Credit Application form and your application will be scheduled for the next available Commission meeting for which it meets the application deadline. A dollar amount of tax credit will be approved based on the receipts, checks, contracts, and documentation submitted. The final approval will then be forwarded to Howard County Department of Finance.

HOWARD COUNTY HISTORIC PRESERVATION COMMISSION

~~GENERAL APPLICATION~~ ^{AMENDMENT} FOR CERTIFICATE OF APPROVAL AND TAX CREDIT PRE-APPROVAL

Amendment to Previously Approved HPC-20-54

SUBMIT 10 COPIES of this application package, including all supporting materials required on pages 2-5 of this application to Howard County Department of Planning and Zoning. Applications must be received no later than 5:00 pm 22 days prior to the meeting. Applications can be submitted via mail, but may result in missing the deadline. Applications are not accepted via email or fax.

Address: 3430 Court House Drive, Ellicott City, MD 21043

Meeting Information

The Historic Preservation Commission (HPC) meets at 7:00 pm generally on the first Thursday of each month at 3430 Court House Dr., Ellicott City, MD. Please contact us regarding emergency applications.

Questions

Please contact Samantha Holmes, Historic Preservation Planner at 410-313-4428 or sholmes@howardcountymd.gov.

FOR STAFF USE ONLY

Application #:

HPC -

MA - **21-40**

Meeting Date:

posted online

Date Received:

12/13/2021

PROPERTY INFORMATION

Address of Subject Property: 3801 Old Columbia Pike, Ellicott City, MD 21043

Name of Property Owner: James and Elizabeth Stewart

Historic District (please check): ☒ Ellicott City Local Historic District ☐ Lawyers Hill Local Historic District

Is this property listed on the Howard County Historic Sites Inventory? ☒ Y ☐ N #HO- 305

APPLICANT INFORMATION

Name of Applicant (please only provide one name for contact purposes): James Stewart

Mailing address: 3801 Old Columbia Pike, Ellicott City, MD 21043

Phone No. (W) 202-256-6224 (H) 202-256-6224

Email: djnazz1@hotmail.com Contact Preference: email

BELOW FOR STAFF USE ONLY

Tax Account Number: _____

Map _____ Parcel _____

Part 1: General Application for Certificate of Approval

ALL APPLICATIONS MUST INCLUDE: The information required in this checklist must be provided or the application will be incomplete and may be rejected for consideration by the Commission. Please check each box below to confirm you have provided this information.

- ☒ Labeled, color photographs of existing property conditions, printed on 8.5x11 paper, no more than two images per page. Do not submit individual 4x6 photographs. **Photos submitted with previously approval (HPC-20-54)**
- ☒ A detailed description of the proposed work (include below or provide on a separate sheet of paper if more space is needed— do not add proposed work into the Guidelines justification section).
- ☒ Product specification sheets/photographs of product that clearly shows materials, colors, and dimensions.
- ☒ Plot plan of property, site plans, or elevations (as applicable to proposal; but required for any new construction). **Submitted with previously approval (HPC-20-54)**
- ☒ For major alterations: elevation drawings of proposed structure indicating dimensions, design, height, color, and materials. Product spec sheets are required for all new elements.
- ☒ A completed Part 2 of this application (page 3-4). Application may be rejected if not complete. If Part 2 is not suitable for your project, please type up a detailed explanation on a separate piece of paper.
- ☒ A completed Part 3 of this application (page 5) if you seek tax credits for any work.
- ☒ A completed Part 4 of this application (page 5). If the owner is not the applicant, the owner's signature is also required.
- ☒ I have read the Ellicott City or Lawyers Hill Design Guidelines and find my proposal complies with the recommendations in the Guidelines, as indicated below.

DESCRIPTION OF PROPOSAL: If more room is required, please provide write up on a separate sheet of paper to best organize proposed work. Continue to Part 2 (page 3-5) to complete required checklists.

Addendum to previously approved HPC-20-54. Request to replace non-historic windows, and change of window configuration in approved addition. See attached detailed description of rationale for proposed changes.

Modification of previously approved ridge beam installation.

DESIGN GUIDELINES: Consult the Ellicott City or Lawyers Hill Design Guidelines on the Howard County website at <https://www.howardcountymd.gov/Departments/Planning-and-Zoning/Conservation-and-Preservation/Historic> and provide a brief description of how the proposal meets the recommendations of the Guidelines, including the applicable chapter and section. Please type up on a separate sheet of paper if more space is needed.

All proposed work to still follow Secretary of Interiors Standards for Treatment of Historic Properties and the Ellicott City Historic District Design Guidelines for Rehabilitation and Maintenance.

Chap.6 - Sec.H Windows: All historic windows have been refurbished, and non-historic windows will be replaced with design appropriate to period, with muntins similar in style/scale to historic windows.

Part 2: General Application for Certificate of Approval Checklist

TYPE OF ALTERATION: Please check the appropriate box for the proposed work and fill in required blanks. Specs sheets and photos must be provided or the application may be considered incomplete and rejected for consideration by the Commission.

You may create your own document if it better explains the project, be sure to include details such as materials and colors for all existing/previously existing and proposed features.

☐ **DOORS AND STORMS DOORS:** Refer to page 35 of the Ellicott City Guidelines and pages 26-29 of the Lawyers Hill Guidelines.

Existing Type: _____

Proposed Type: _____

Existing Color: _____

Proposed Color: _____

Existing Material: _____

Proposed Material: _____

Additional Info Included: ☐ Yes ☐ No

Specs/Photos Included: ☐ Yes ☐ No

Is this item being repaired? ☐ Yes ☐ No

Is this item being replaced? ☐ Yes ☐ No

☐ **I seek tax credit pre-approval for this item.**

For any proposed door replacement—the spec sheets must show the actual panel and window arrangement of new doors. Photos of existing doors should indicate the location on the house of any door proposed to be replaced.

☒ **WINDOWS:** Refer to page 38 of the Ellicott City Guidelines and page 26 of the Lawyers Hill Guidelines.

Existing Material: Non-historic Wood French Casement/
Aluminum Storm (2)

Proposed Material: Wood sash/Wood Storm

Existing Color: White

Proposed Color: White

Existing Sash Arrangement: French Casement (2)

Proposed Sash Arrangement: 4 lite awning

Additional Info Included: ☒ Yes ☐ No

Specs/Photos Included: ☒ Yes ☐ No

Is this item being repaired? ☐ Yes ☒ No

Is this item being replaced? ☒ Yes ☐ No

☒ **I seek tax credit pre-approval for this item.**

For any proposed window replacement —the spec sheets must show the actual sash arrangement of the new windows. Photos of existing windows should indicate the location on the house of any window proposed to be replaced.

☒ **WINDOWS:** Refer to page 38 of the Ellicott City Guidelines and page 26 of the Lawyers Hill Guidelines.

Existing Material: Wood

Proposed Material: Wood

Existing Color: White

Proposed Color: White

Existing Sash Arrangement: 12 lite casement

Proposed Sash Arrangement: 9 lite casement

Additional Info Included ☒ Yes ☐ No

Specs/Photos Included ☒ Yes ☐ No

Is this item being repaired? ☐ Yes ☒ No

Is this item being replaced? ☐ Yes ☒ No

☐ **I seek tax credit pre-approval for this item.** Windows for previously approved addition - Not eligible for tax-credit

Part 2: General Application for Certificate of Approval Checklist

TYPE OF ALTERATION: Please check the appropriate box for the proposed work and fill in required blanks. You may create your own document if it better explains the project, be sure to include details such as materials and colors for all existing/previously existing and proposed features.

☐ **PAINTING:** Refer to page 50 of the Ellicott City Guidelines and page 31 of the Lawyers Hill Guidelines.

Existing Color: _____

Proposed Color: _____

Paint Chip Included: ☐ Yes ☐ No

Area(s) to be painted: _____

Additional Info Included: ☐ Yes ☐ No

☐ **I seek tax credit pre-approval for this item.**

☐ **ROOF:** Refer to page 31 of the Ellicott City Guidelines and page 26 of the Lawyers Hill Guidelines.

Existing Material: _____

Proposed Material: _____

Existing Color: _____

Proposed Color: _____

Additional Info Included: ☐ Yes ☐ No

Specs/Photos Included: ☐ Yes ☐ No

Is this item being repaired? ☐ Yes ☐ No

Is this item being replaced? ☐ Yes ☐ No

☐ **I seek tax credit pre-approval for this item.**

☐ **SHUTTERS:** Refer to page 42 of the Ellicott City Guidelines and page 28 of the Lawyers Hill Guidelines.

Existing Type: _____

Proposed Type: _____

Existing Color: _____

Proposed Color: _____

Existing Material: _____

Proposed Material: _____

Additional Info Included: ☐ Yes ☐ No

Specs/Photos Included: ☐ Yes ☐ No

Is this item being repaired? ☐ Yes ☐ No

Is this item being replaced? ☐ Yes ☐ No

☐ **I seek tax credit pre-approval for this item.**

☒ **OTHER (such as lighting, railings, other repairs, tree removal, demolition, etc. Please explain in detail):** Refer to applicable Guidelines. For signs please use separate Sign Application. For New Construction use separate New Construction Application. Please attach additional pages as necessary or write up separate document.

Description: Extension of previously approved ridgebeam - See updated structural drawings from
engineer.

Specs/Photos Included: ☒ Yes ☐ No

Additional Info Included: ☒ Yes ☐ No

Is this item being repaired? ☐ Yes ☒ No

Is this item being replaced? ☒ Yes ☐ No

☒ **I seek tax credit pre-approval for this item.**

Part 3: Historic Property Tax Credits

Historic Property Tax Credits 20.112 and 20.113 Eligibility Requirements

Please check the appropriate box:

In accordance with Sections 16.606, 20.112 and 20.113 of the Howard County Code, I request the pre-approval of eligible work to qualify for property tax credits for the following preservation and restoration work:

- ☒ A structure listed on (or eligible for inclusion in) the Howard County Historic Sites Inventory and is designated by the Commission as historically significant.
- ☐ An existing principal structure or historic outbuilding located within a local historic district in Howard County, which is determined by the Commission to be of historic or architectural significance, or to be architecturally compatible with the historic structures in the district .
- ☐ A landscape feature located within a local historic district or listed on the Historic Sites Inventory, which is determined by the Commission to be of historic or architectural significance.
- ☐ A cemetery, at least 50 years old, not operated as a business, which is listed on the Howard County Cemetery and Gravesites Inventory under Section 16.1303 of the County Code.

Please Note: There is a separate application for final tax credit approval. Copies of cancelled checks, receipts and paid invoices are required for final approval. Invoices should be itemized to separate repairs to the items pre-approved from those that are not eligible for the tax credit.

Part 4: Authorizing Signature to Submit Application:

I hereby certify by the below signatures(s) that the information supplied herewith is correct and complete and authorizes such periodic on-site inspections by the Department of Planning and Zoning and its agents as may be necessary to review this application and any petitions filed in connection herewith and to enforce the Historic District Guidelines and other applicable laws. This right-of-entry shall continue until all administrative appeals pertaining to the property have been exhausted. I have read and understand the above terms regarding the Historic Property Tax Credit Programs.

SIGNATURE(S):

If the Applicant is not the owner of the subject property, the owner's signature authorizing the proposed work is required .



12/2/2021

Applicant or Authorized Agent

Date

Owner (if different than Applicant)

Date

James Stewart II - Owner

Description of proposed modifications to previously approved HPC-20-54, and rationale:

1. The ridgebeam that the replacement dormer rafters will hang from must extend the full length of the roof in order to adequately support the entire roofing system. It has been determined that multiple collar ties were improperly severed on the western end of the roof at some point prior to purchasing the home. The lack of properly functioning collar ties does not provide adequate support for that end of the roof, which compromises the structural integrity of the entire roof. Extending the ridgebeam to the chimney will provide sufficient structural support for the entire roof, in spite of the nonfunctional ties. **See updated technical drawings from engineer.**
2. After removing 2 french casement windows from the attic for restoration, it has been determined that those windows are not historic (**see letter from Corners Historic Restoration**). Additionally, the 38" height of the windows places them too close to the adjacent hyphen roof. Being so close to the adjacent roof does not allow for adequate roof/wall flashing, which has led to significant damage to the surrounding logs due to water intrusion. We propose replacing the non-historic french casement windows with smaller period appropriate 4 lite windows that better match the existing historic double hung windows. The smaller windows will allow more space between the window sill and adjacent hyphen roof, to provide adequate flashing, and prevent future log damage. **See attached technical drawing for proposed "attic" windows. See "modified drawings for windows" file for deviations from previously approved drawings.**
3. We have decided to make small modifications to the window configuration in the new "entry - dining bay" addition that was previously approved. We no longer want to have a single window (W3 on previously approved drawings) next to the door, and will leave that wall solid, clad in cedar shingles to match existing siding. We also decided to install smaller windows, similar in size to the existing double hung windows) in the rest of the addition. The configuration will remain the same as in the drawings for windows W4 and W5, but the fixed 3 lite glass will be removed from the top of the casement, resulting in windows that are 1'1" shorter than the previously approved windows. The windows will be shifted up 1' higher on the wall to account for the difference. **See attached technical drawings for updated "entry - dining bay" windows. See "modified drawings for windows" file for deviations from previously approved drawings.**



Mon 12/20/2021 2:34 PM

James Stewart <djnazz1@hotmail.com>

Re: Question about amendment to approved project

To: Holmes, Samantha

 This message is part of a tracked conversation. Click here to find all related messages or to open the original flagged message.

Hello Samantha,

I appreciate you processing this request. Correct, we will run shakes below the windows, and above the stone. Thank you for your help with this, and I look forward to hearing from you all. How long is the normal turn around for a minor request?

James Stewart

Sent from my iPhone

On Dec 20, 2021, at 12:14 PM, Holmes, Samantha <sholmes@howardcountymd.gov> wrote:

Hi James,

We are going to try and process these changes through the Minor Alteration process, but I want make sure in writing (in order to update the application the Commission will review) that are you amending the application to use the cedar shake below the windows to be moved up 1 foot and above the stone. Please confirm if this is accurate.

Thank you,
Samantha



CORNERS Historic Restoration

Workshop: 2114 Greenmount Ave, Baltimore MD 21218
Business Office: 415 E North Ave, Baltimore MD 21202
Office: 443-388-9641
FEIN: 46-4705430
MHIC (Lampart) 95621
EPA-RRP & MDE CERTIFIED

October 13, 2021

To whom it may concern:

Mr. James Stewart secured our services in July 2021 to restore the wood windows in his 220 year old home. After the sashes were removed, in September 2021, Mr. Stewart contacted us after discovering water damage to the upper most log, where the corners of two of the window frames were in contact with the log. Mr. Stewart inquired as to whether we believed these two particular windows were historic.

While removing the sashes of these two casement windows, it was immediately apparent to me that these did not match the style of the other windows in the house. In my professional opinion, they are not historic to the structure of this 220 years old house. This style of window is not representative of the period during which the house was constructed. It is also my belief that these windows are modern due to the wood species used. The kind of rotting I noticed at the base of the frames, and after looking closer at the wood, this appears to be fast growth pine.

Please feel free to reach out should you have any questions about our assessment.

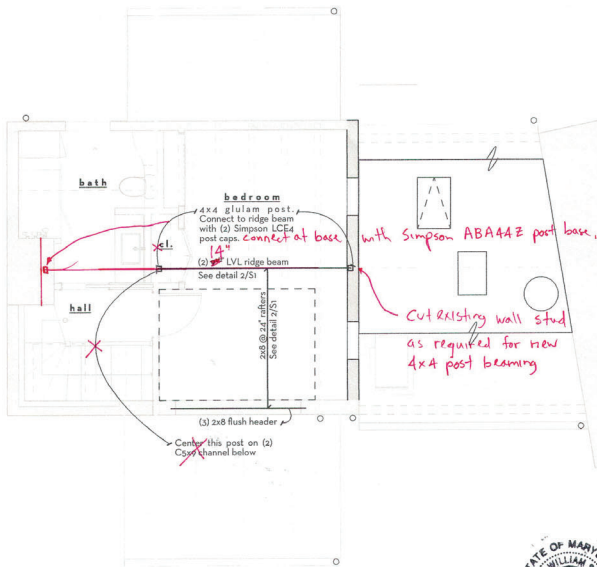
Oral Lampart

Oral Lampart

Partner, Window Restoration Manager

(443) 388-9641 office

(443) 540-4039 cell

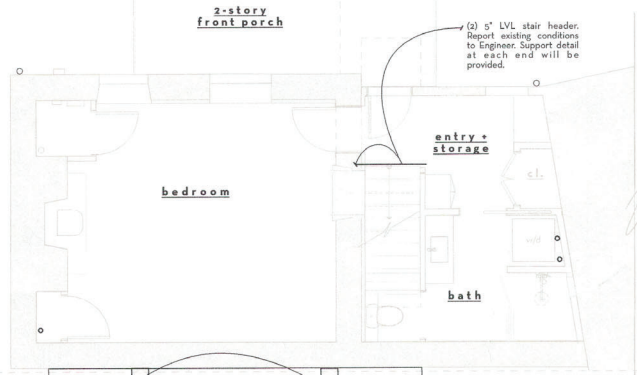
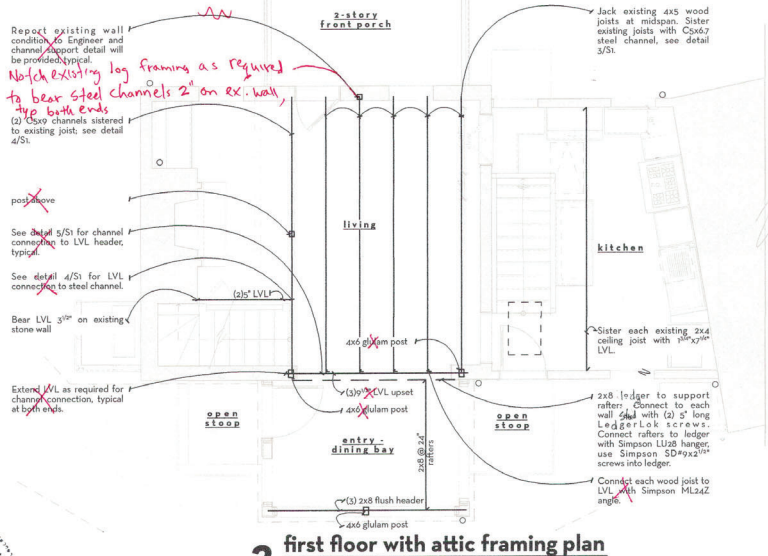


1 attic floor with roof framing plan
scale: 1/4" = 1'-0"



Pote W. W.
 Revised 9/29/21

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 5/9/23
 record No. 14452 Expiration Date



brennan+company
 ARCHITECTS
 3801 OLD COLUMBIA PIKE
 ELlicott CITY, MD 21043
 410.253.8200
 brennan@brennan-company.com

3801 Old Columbia Pike, Ellicott City, Maryland 21043

**ESTHER RETTIGER'S TWO-PART HOUSE
 STEWART RESIDENCE**
 3801 OLD COLUMBIA PIKE
 ELlicott CITY, MD 21043

phase	date
MD SD REV	05.10.2020
HPC	06.05.2020
Submission	06.07.2020
MAT	07.24.2020
Submission	07.24.2020
Permit	08.27.2020

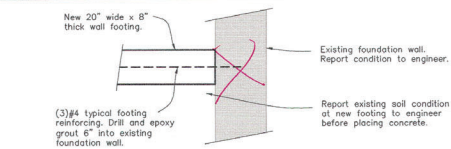


PROFESSIONAL CERTIFICATION
 I certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. Expiration date 07/20/2023.

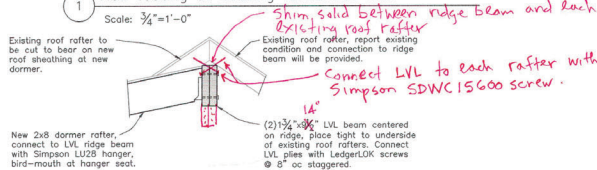
drawing structural plans

sheet no.

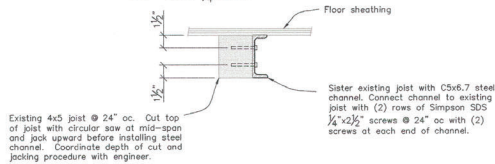
S2



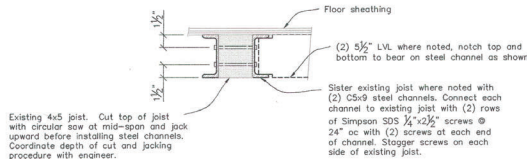
1 New footing at existing foundation wall
Scale: $\frac{3}{4}"=1'-0"$



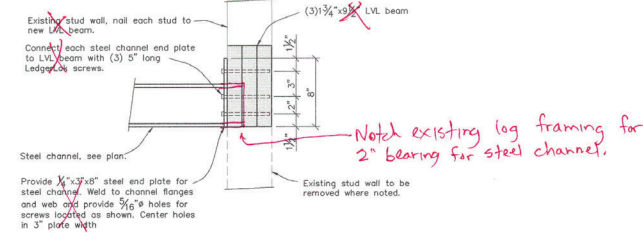
2 Ridge beam connection detail
Scale: $\frac{3}{4}"=1'-0"$



3 Typical attic floor joist reinforcement
Scale: $\frac{1}{2}"=1'-0"$



4 Attic floor joist reinforcement at stair
Scale: $\frac{1}{2}"=1'-0"$



5 Channel connection detail
Scale: $\frac{1}{2}"=1'-0"$

General Structural Notes:

- General
 - All construction shall conform with the provisions of the 2018 International Residential Code for one and two family dwellings.
 - Design live loads:
 - Floors 40 psf
 - Sleeping areas 30 psf
 - Ground Snow Load, Pg 50 psf
 - Ultimate wind speed (3 second gust) 115 mph
 - Seismic design category B
 - Seismic site class D
 - The contractor shall provide all shoring and bracing as required to support the existing structure. The contractor shall examine the existing structure to determine the extent of necessary shoring and bracing. The capacity and method used for shoring and bracing shall be the responsibility of the contractor.
- Foundations
 - Footings are designed for an allowable soil bearing capacity of 2000 psf. Contractor to verify that the existing soil conditions meet or exceed this bearing capacity. Footings shall bear on natural undisturbed soil, 1'-0" below original grade. The bottom of exterior footings shall be a minimum of 2'-6" below finished grade.
 - Cast in place concrete
 - All concrete shall be (f_c=3,000 psi) stone aggregate concrete at 28 days. All concrete exposed to the weather shall be air entrained.
 - Slabs on ground shall be 4" thick concrete reinforced with 6"x6" W1.4-W1.4 WWF over 6 mil polyethylene vapor barrier and 4" washed gravel unless otherwise noted.
 - Reinforcing steel
 - All reinforcing shall be high strength new billet steel conforming to ASTM designation A615, grade 60. All reinforcing shall be detailed, fabricated, and placed in accordance with the ACI's manual of standard practice for detailing concrete structures (ACI 315).
 - All splices in reinforcing shall be 24". Bend horizontal reinforcing 1'-0" around all corners or provide 4'-0" long corner bars to match horizontal reinforcing.
 - Provide 4" concrete protection for reinforcing unless noted otherwise.
- Masonry
 - All masonry construction and materials used therein (concrete masonry, clay masonry, mortar, grout and steel reinforcement) shall conform to "Building Code Requirements For Masonry Structures" (TMS 602/ACI 530.1/ASCE 5) and "Specifications For Masonry Structures" (TMS 602/ACI 530.1/ASCE 6) in all respects.
 - CMU bearing walls shall consist of standard hollow units conforming to ASTM C90 with f_m=1500 psi (specified compressive strength). Where solid units are required, provide units conforming to ASTM C 145.
 - All mortar shall conform to the requirements for proportions, mixing, strength and application for portland cement/lime type "S" mortar as described in ACI 530.
 - All grout fill in masonry walls shall conform to ASTM C 476. Slump range 8-11". Place grout in 5'-0" maximum pour heights and consolidate by mechanical vibration.
 - Provide 8" depth of 100% solid masonry below all joist or slab bearing lines. Provide 16" high x 16" long 100% solid masonry below all lintels and beams unless noted otherwise.
 - All masonry walls shall be reinforced with no. 9 galv. steel joist reinforcement spaced vertically at 16" o.c. u.n.o. Lap all joist reinforcement 6" minimum. Provide corner and tee pieces at all intersections.
 - Grout all collar joints (vertical joint between veneer and CMU) 100% solid. Provide solid block or fill wall solid with grout directly below all changes in wall thickness or construction or required to provide continuous bearing for all face shells of block.
 - Support and fasten vertical bar reinforcement to prevent movement when grout is installed. Lap all vertical reinforcing 48 bar diameter minimum.
- Structural Steel
 - All angles, channels and plates shall be ASTM A36. All anchor rods shall be ASTM F1554 grade 36. All steel shall be detailed, fabricated, and erected in accordance with the AISC 360-10 manual, specification and code of standard practice.
 - All welded connections shall be done with E70XX electrodes. Shop and field welds shall be made by approved certified welders and shall conform to the American Welding Society code for buildings AWS D1.1. Welds shall develop the full strength of materials being welded unless otherwise noted.
- Roof
 - Structural solid wood rafters, joists, beams and studs shall be Spruce Pine Fir No.2 surfaced dry at a maximum of 19 % moisture content. All lumber exposed to weather shall be pressure treated Southern Pine No.2. All fabrication, erection, other procedures, and minimum unit stresses shall conform to the current National Design Specification for Wood Construction.
 - All laminated veneer lumber (LVL) shall have the following minimum properties: F_b=2600psi, F_w=285psi, E=2,000,000psi, F_c=250psi(parallel), F_c=750psi(perpendicular). All LVL's shall have a 1 1/4" minimum thickness.
 - All multiple members 10" or less in depth shall have each member nailed with 2 rows of 16d nails spaced at 12" o.c. Members deeper than 10" shall have 3 rows of 16d nails spaced at 12" o.c.
 - All nails are to be common wire nails. Nailing of all framing shall be as specified in the contract documents but in no case shall be less than the recommended nailing schedule contained in the 2018 International Residential Code. All multiple stud posts are to be nailed together with 12d nails @ 6" o.c. staggered.
 - Provide blocking spaced at 24" o.c. in first joist, rafter or truss spaces when framing is parallel to exterior wall. Provide one row of bridging between all floor and roof joists for each 8'-0" of span. Provide solid blocking or a continuous band joist at the bearing of joists and rafters on wood plates.
 - Provide the following jamb studs at all bearing wall openings unless noted otherwise:
 - 0'-0" - 3'-4" opening 1 jack stud, 1 king stud
 - 3'-5" - 6'-0" opening 2 jack studs, 2 king studs
 - 6'-1" - 8'-0" opening 2 jack studs, 2 king studs
 - Provide double studs at all corners and beneath all girder trusses and wood beams unless noted otherwise on plans. Wood beams, girder trusses and headers shall bear the full depth of posts and jack studs.
 - All exterior stud walls and interior stud bearing walls shall have studs spaced at 16" o.c. maximum and shall have solid bridging at mid height of all studs unless noted otherwise.
 - All posts (multiple studs or solid posts) supporting beams, wall headers or girder trusses, shall be blocked solid for the full length and width of posts at all intersections with floors as required to provide continuous support to top of foundation walls or beams. Posts shown on upper levels floors shall also be installed on the lower levels in line with the post above down to foundation walls or beams.
 - All fasteners used with pressure treated lumber are to be hot dip galvanized, stainless steel or 1.85 oz. of zinc per square foot of surface (G185).
 - All flush wood connections shall have metal hangers. The supplier shall design all hangers for actual loads. Install all hangers in strict conformance to the manufacturers instructions. Fill all nail or screw holes using the specified nails and screws only.
 - Plywood, OSB and gypsum board sheathing panels shall be a minimum of 4x8" sheets. Install roof and floor sheathing perpendicular to framing members with and joints of adjacent courses of sheathing not occurring over the same support. Sheathing shall be securely fastened 3/4" from the edge, not less than 6" on center at all edges, and not less than 12" on center for all intermediate supports. Framing members or blocking shall be provided at all sheathing edges for walls and ceilings. Use 8d nails for 1/4" and 1/2" wood sheathing, 10d nails for 3/4" sheathing and 16 x 1/2" long screws for gypsum board sheathing. Floor sheathing shall also be glued to floor joists in accordance to APA specification MFD-01.
 - Wall sheathing shall be 1/4" APA rated sheathing, 24/16 span rating, exposure 1. Roof sheathing shall be 1/2" APA rated sheathing, 32/16 span rating, exposure 1. Floor sheathing shall be 3/4" APA rated sheathing, 48/24 span rating, exposure 1, tongue and groove.

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 14452, Expiration Date: May 31, 2019.
 Sweeney Engineering, PC
 Structural Engineers
 (410)719-7448
 Project: Stewart Residence
 3801 Old Columbia Pike
 Ellicott City, MD 21043
 Title: Details and notes
 Sheet# 1 of 1
 Date: Aug 16, 2020
 Job#: 20120



brennan+company
ARCHITECTS

400 N. T. C. T. Y.
Baltimore
Washington
410.223.5920

3801 Old Columbia Pike
Ellicott City, MD 21043

ESTHER RETTIGER'S TWO-PART HOUSE
STEWART RESIDENCE
3801 OLD COLUMBIA PIKE
ELICOTT CITY, MD 21043

Phase	Date
MD SD REV	05/16/2020
HPC	06/03/2020
Submission	07/07/2020
MHT	07/24/2020
Submission	07/24/2020
Permit	08/27/2020

PROFESSIONAL CERTIFICATION
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 14452, Expiration Date: May 31, 2019.
 Sweeney Engineering, PC
 Structural Engineers
 (410)719-7448

drawing
 structural details - notes

sheet no: **S1**

windowschedule

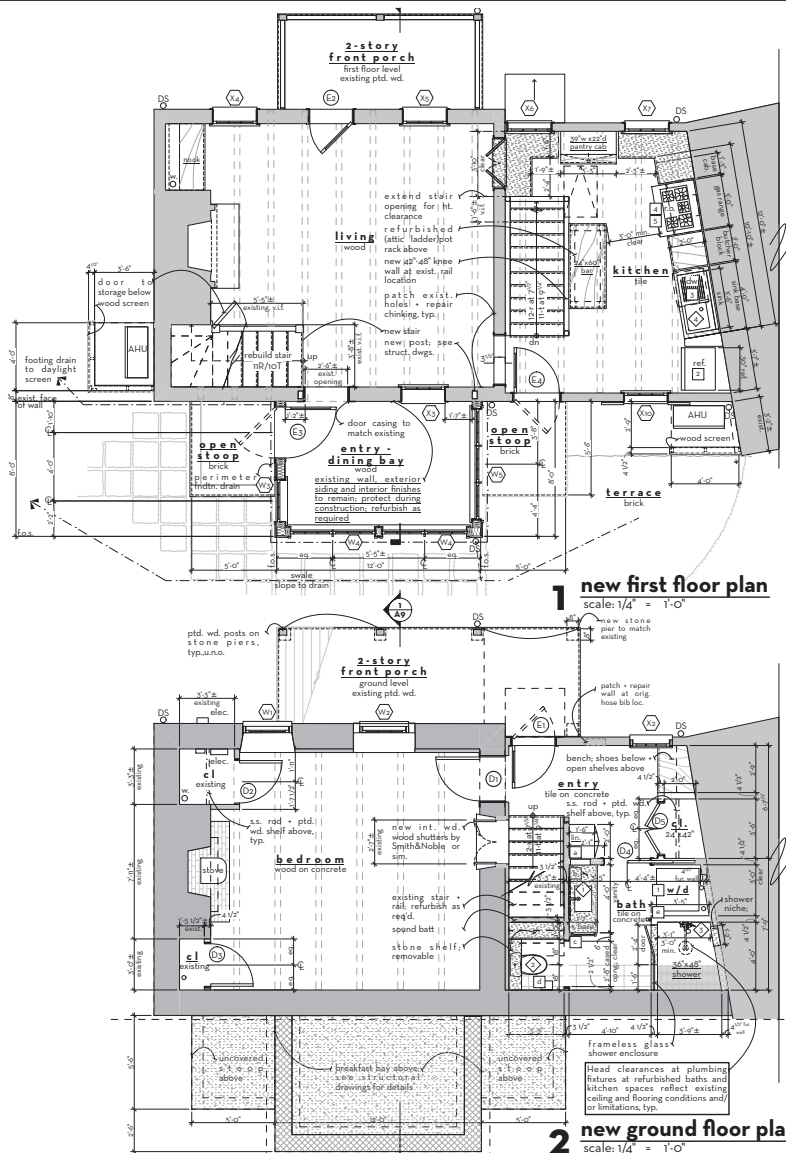
* G.C. to refer to general exterior notes on sheet A6 for all window refurbishment.
* G.C. to verify all existing field dimensions prior to order.

ID	QTY.	MANUFACTURER	MATERIAL	MODEL	** FRAME SIZE **		LITES	REMARKS
					WIDTH	HEIGHT		
S1	1	Velux Skylight replacement	alum clad ext./ wood int.	fixed	---	---	1	deck mounted
W1	1	Marvin double hung replacement	wood	WUDH2426	2'-0"	5'-0"	9/6	
W2	1	Marvin double hung replacement	wood	WUDH2426	2'-0"	5'-0"	9/6	
W3	1	Marvin casement	wood	WUCA9060E	2'-0"	5'-1 1/2"	12	
W4	2	Marvin double french casement	wood	double milled WUCA9060E	5'-0"	5'-1 1/2"	12	
W5	1	Marvin triple milled casement	wood	triple milled WUCA9060E	6'-0"	5'-1 1/2"	12	
W6	1	Marvin double milled casement	wood	double milled WUCA9046E	5'-4"	3'-8"	4	
X1	1	Existing			2'-0 1/2"	5'-0"		
X3	1	Existing			2'-6 3/4"	4'-0"		
X4	1	Existing			2'-0"	4'-2"		
X5	1	Existing			2'-0"	4'-2"		
X6	1	Existing			2'-0"	4'-0"		
X7	1	Existing			2'-0"	4'-0"		
X10	1	Existing			2'-6 3/4"	4'-0"		
X11	1	Existing			2'-0"	2'-4"		
X12	1	Existing			2'-2"	2'-6"		
X13	1	Existing			2'-0"	2'-6"		
Z	1				2'-0"	5'-0"		

door schedule

* G.C. to refer to general exterior notes on sheet A6 for all door refurbishment.
* G.C. to verify all existing field dimensions prior to order.

NO.	LOCATION	MANUF/MODEL	** DOOR SIZE **	LITE/PANEL	HARDWARE	MATERIAL	REMARKS
E1	Est. ground level	Simpson wood french door	2'-0"-6'-8"	9-lite/2-panel	orb. Baldwin or eq.	wood	include new alum. storm/screen door
E2	Est. first floor living	Simpson wood french door	2'-0"-6'-8"	15-lite	"	wood	include new alum. storm/screen door
E3	Est. first floor bay	Simpson wood dutch door	3'-0"-6'-8"	9-lite/2-panel *	"	wood	custom ved. storm/screen door
E4	Est. first floor kitchen	Simpson wood dutch door	2'-0"-6'-8"	9-lite/2-panel *	"	wood	custom vid. storm/screen door
D1	ground bedroom	Simpson	2'-0"-6'-8"	2-panel	orb. Baldwin or eq.	wood	shaker profile
D2	ground bdrm. closet	Rustica	2'-0"-6'-8"	full slab battn *	"	wood *	
D3	ground bdrm. closet	Rustica	2'-0"-6'-8"	full slab battn *	"	wood *	
D4	ground bath	Simpson pocket	2'-0"-6'-8"	2-lite satin etched *	"	wood *	
D5	ground entry closet	Simpson pair	3'-0"-6'-8"	(2) -panel *	"	wood *	
D6	attic bath	Simpson pocket	2'-0"-6'-8"	2-lite satin etched *	"	wood *	
D7	attic bedroom	Simpson	2'-0"-6'-8"	2-panel *	"	wood *	
D8	attic bdrm. closet	pair	3'-0"-6'-8"	(2) -panel *	"	wood *	



Volume/Brennan/01 PROJECTS/01 residential/01 new/1 mtl. amendment set pch 10/09/20 6:04 PM © Brennan-Company Architects

accessory schedule

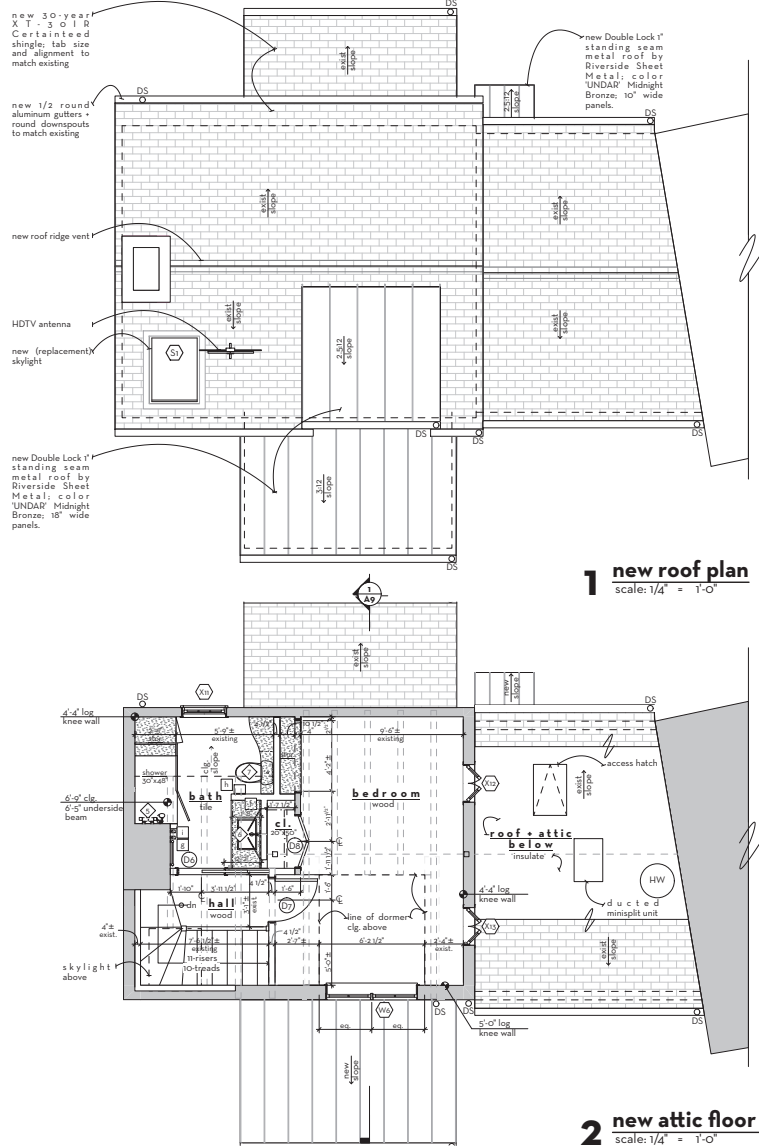
NO.	ITEM	LOCATION	MANUFACTURER	MODEL	FITTINGS	REMARKS
a	mirror cab.	ground flr. bath	tbd.			
b	mirror	ground flr. bath	tbd.			
c	towel bar	ground flr. bath	tbd.			
d	t.p. holder	ground flr. bath	tbd.			
e	robe hook	ground flr. bath	tbd.			
f	mirror cab.	attic bath	tbd.			
g	towel bar	attic bath	tbd.			
h	t.p. holder	attic bath	tbd.			
i	robe hook	attic bath	tbd.			

appliance schedule

ID	ITEM	LOCATION	MANUFACTURER	MODEL	FITTINGS	REMARKS
1	washer/dryer	ground flr. bath	tbd.			stackable units
2	fridge	kitchen	tbd.			
3	dishwasher	kitchen	tbd.			
4	range	kitchen	tbd.			
5	vent hood	kitchen	tbd.			

plumbing schedule

NO.	ITEM	LOCATION	MANUFACTURER	MODEL	FITTINGS	REMARKS
1	sink	ground flr. bath	tbd.			
2	toilet	ground flr. bath	tbd.			
3	shower controls	basement bath	tbd.			include linear drain, adjustable handheld bar
4	sink	kitchen	tbd.			incl. faucet / garb. disp.
5	shower controls	attic bath	tbd.			include linear drain, adjustable handheld bar
6	sink	attic bath	tbd.			
7	toilet	attic bath	tbd.			



1 new roof plan
scale: 1/4" = 1'-0"

2 new attic floor plan
scale: 1/4" = 1'-0"

Brennan-Company
ARCHITECTS
4003 33rd Avenue
Baltimore, Maryland 21204
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3801 Old Columbia Pike
Ellicott City, MD 21043

**ESTHER RETTGER'S TWO-PART HOUSE
STEWART RESIDENCE**
3801 OLD COLUMBIA PIKE
ELLCOTT CITY, MD 21043

phase	date
MD	05/10/2020
SD REV	06/05/2020
APC Submission	06/17/2020
MHT Submission	07/24/2020
MHT Amendment	10/20/2020

drawing
new floor + roof plans + schedules
sheet no:

A5



1 rear views
not to scale



2 front views
not to scale

brennan — company
ARCHITECTS
410.333.8310 | baltimore
washington

410.333.8310
washington

803 oella avenue- elicott city, maryland 21043

ESTHER RETTGER'S TWO-PART HOUSE
STEWART RESIDENCE
3801 OLD COLUMBIA PIKE
ELLICOTT CITY, MD 21043

phase	date
MD	05.19.2020
SD REV	06.05.2020
HPC Submission	06.17.2020
MHT Submission	07.24.2020
MHT Amendment	10.20.2020

drawing:



sheet no:

A8

window schedule

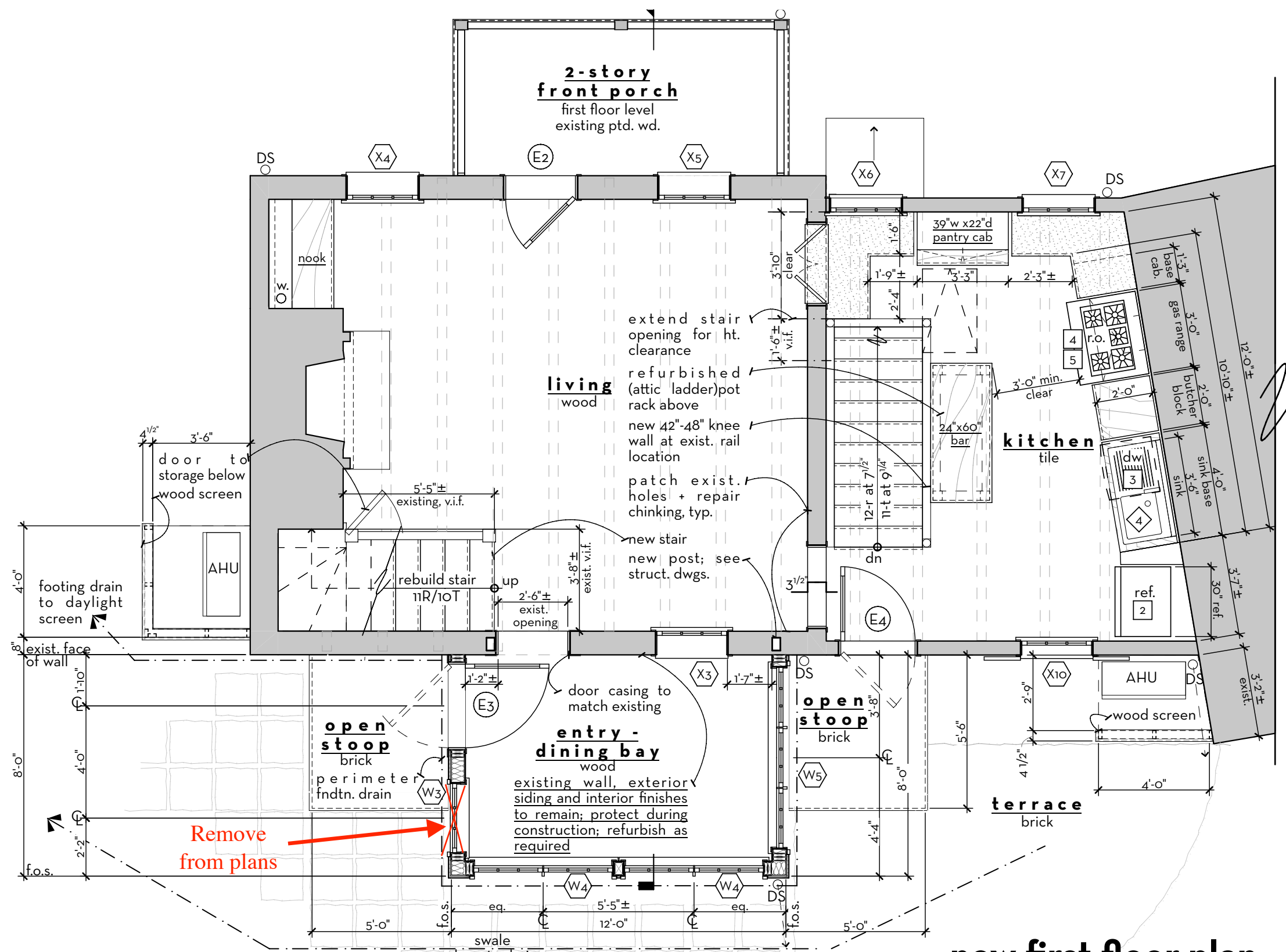
* G.C. to refer to general exterior notes on sheet A6 for all window refurbishment.
 ** G.C. to verify all existing field dimensions prior to order.

	ID	QTY.	MANUFACTURER	MATERIAL	MODEL	** FRAME SIZE **		LITES	REMARKS
						WIDTH	HEIGHT		
new replacement	S1	1	Velux Skylight Replacement	alum clad ext./ wood int.	fixed	---	---	1	deck mounted
	W1	1	Marvin double hung replacement	wood	WUDH2426	2'-7"	5'-0"	9/6	
	W2	1	Marvin double hung replacement	wood	WUDH2426	2'-7"	5'-0"	9/6	
	W3	1	Marvin casement	wood	WUCA3060E	2'-6"	5'-11/2"	12	Remove from plans
	W4	2	Marvin double french casement	wood	double mulled WUCA3060E	5'-0"	5'-11/2" 4'-11/16"	12 9	Remove fixed 3 lites from top of casements
	W5	1	Marvin triple mulled casement	wood	triple mulled WUCA3060E	4'-6" 6'-5"	5'-11/2" 4'-11/16"	12 9	Remove fixed 3 lites from top of casements
	W6	1	Marvin double mulled casement	wood	double mulled WUCA3044E	5'-4"	3'-8"	4	
existing	X2	1	Existing			2'-2 1/2"	5'-0"		
	X3	1	Existing			2'-6 3/4"	4'-0"		
	X4	1	Existing			2'-7"	4'-2"		
	X5	1	Existing			2'-7"	4'-2"		
	X6	1	Existing			2'-7"	4'-0"		
	X7	1	Existing			2'-7"	4'-0"		
	X10	1	Existing			2'-6 3/4"	4'-0"		
	X11	1	Existing			2'-7"	2'-4"		
	X12	1	Existing			2'-2"	2'-6"		Replace with 25"x29-1/2" Marvin 4 lite window
	X13	1	Existing			2'-2"	2'-6"		Replace with 25"x29-1/2" Marvin 4 lite window
	Z	1				2'-7"	5'-0"		

door schedule

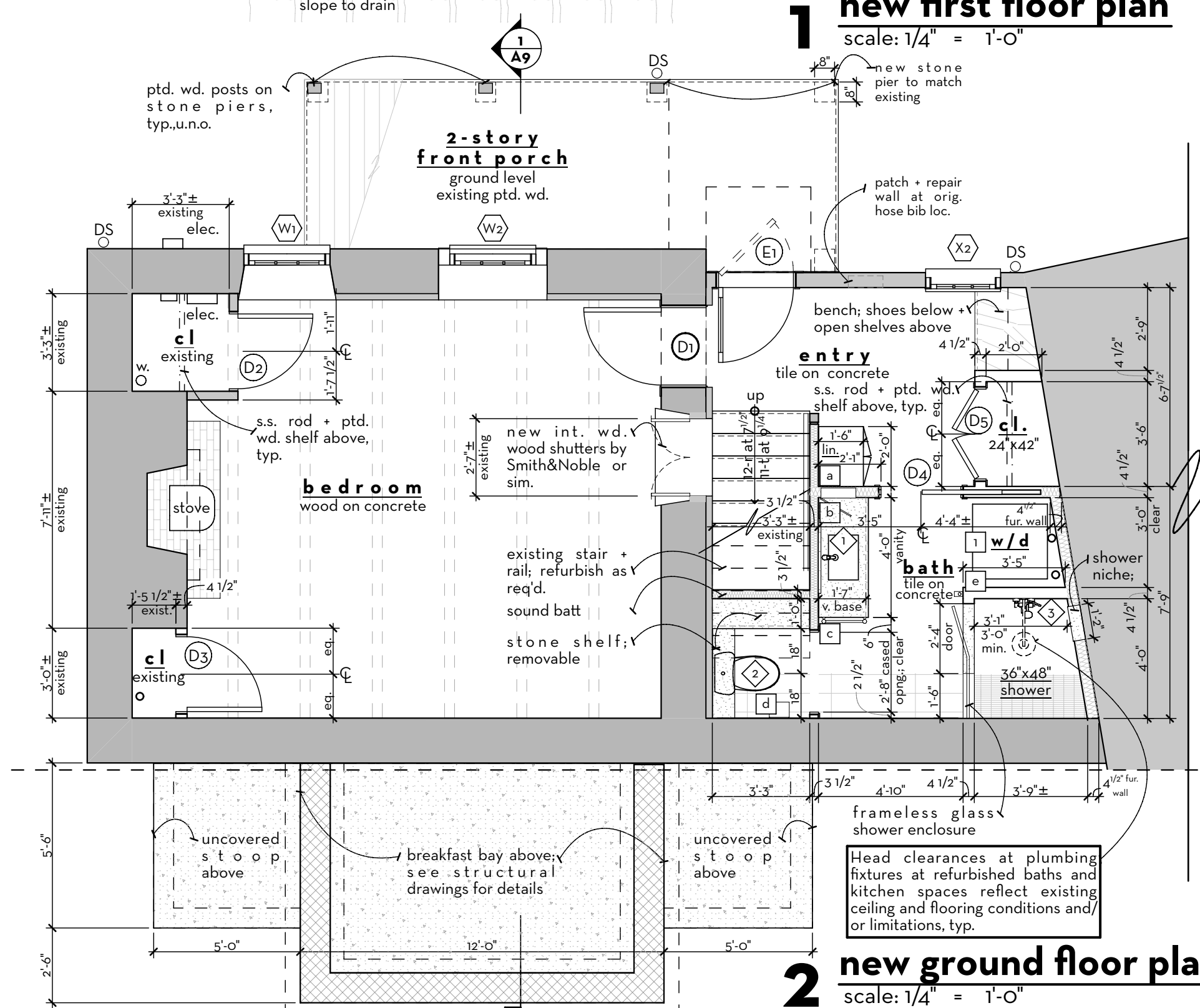
* G.C. to refer to general exterior notes on sheet A6 for all door refurbishment.
 ** G.C. to verify all existing field dimensions prior to order.

	NO.	LOCATION	MANUF/MODEL	**DOOR SIZE**	LITE/PANEL	HARDWARE	MATERIAL	REMARKS
new exterior	E1	Ext. ground level	Simpson wood french door	2'-6"-6'-8"	9-lite/2-panel	orb. Baldwin or eq.	wood	include new alum. storm/screen door
	E2	Ext. first floor living	Simpson wood french door	2'-6"-6'-8"	15-lite	"	wood	include new alum. storm/screen door
	E3	Ext. first floor bay	Simpson wood dutch door	3'-0"-6'-8"	9-lite/2-panel	"	wood	custom wd. storm/screen door
	E4	Ext. first floor kitchen	Simpson wood dutch door	2'-8"-6'-8"	9-lite/2-panel	"	wood	custom wd. storm/screen door
new interior	D1	ground bedroom	Simpson	2'-7"-6'-8"	2-panel	orb. Baldwin or eq.	wood	shaker profile
	D2	ground bdrm. closet	Rustica	2'-6"-6'-8"	full slab batten	"	wood	"
	D3	ground bdrm. closet	Rustica	2'-6"-6'-8"	full slab batten	"	wood	"
	D4	ground bath	Simpson pocket	2'-8"-6'-8"	2-lite satin etched	"	wood	"
	D5	ground entry closet	Simpson pair	3'-0"-6'-8"	(2) 1-panel	"	wood	"
	D6	attic bath	Simpson pocket	2'-8"-6'-8"	2-lite satin etched	"	wood	"
	D7	attic bedroom	Simpson	2'-6"-6'-8"	2-panel	"	wood	"
	D8	attic bdrm. closet	pair	3'-0"-6'-8"	(2) 1-panel	"	wood	"



1 new first floor plan

scale: $1/4" = 1'-0"$



2 new ground floor plan

scale: $\frac{1}{4}" = 1'-0"$

accessory schedule ☐

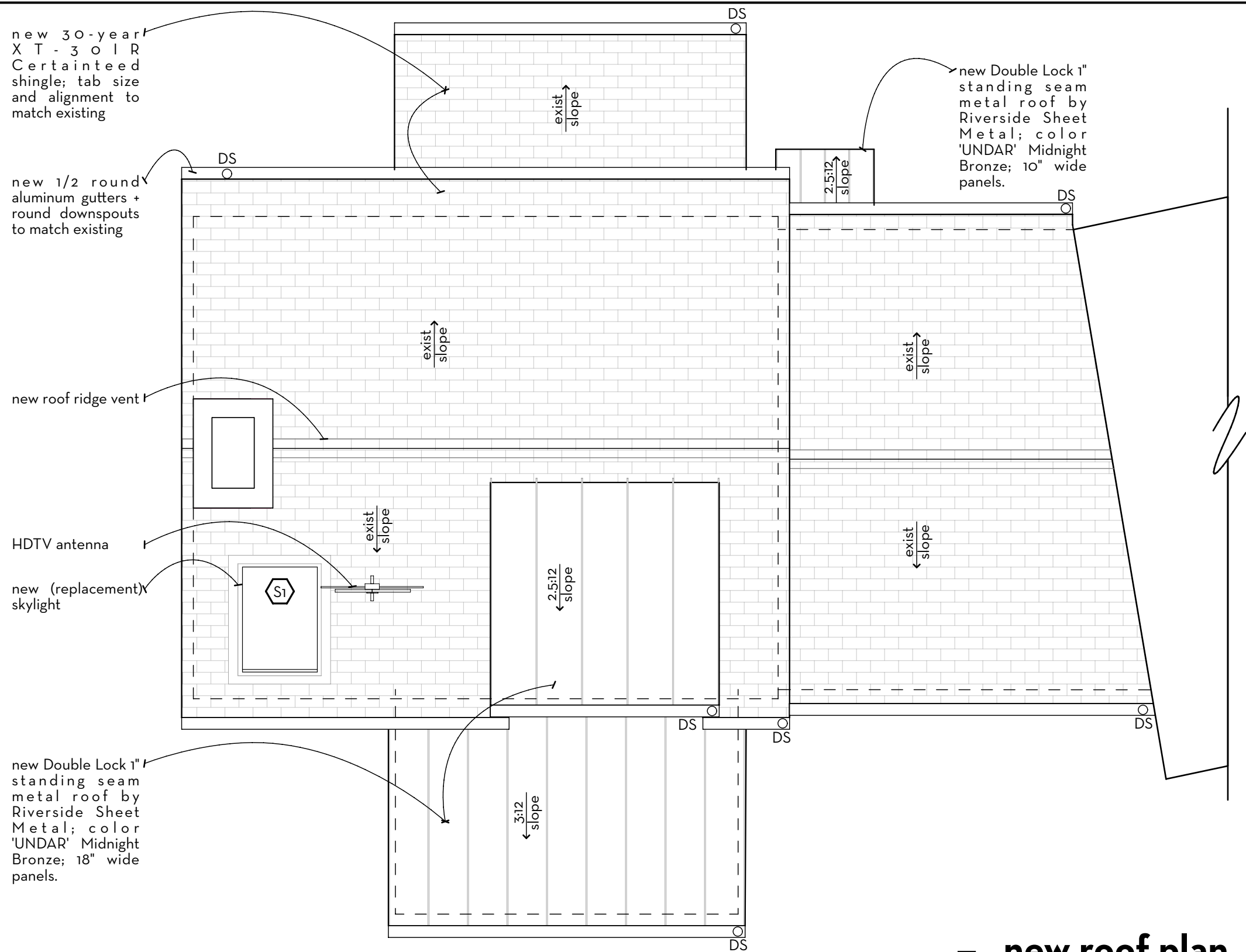
NO.	ITEM	LOCATION	MANUFACTURER	MODEL	FITTINGS	REMARKS
a	mirror cab.	ground flr. bath	tbd.			
b	mirror	ground flr. bath	tbd			
c	towel bar	ground flr. bath	tbd			
d	t.p. holder	ground flr. bath	tbd			
e	robe hook	ground flr. bath	tbd			
f	mirror cab.	attic bath	tbd.			
g	towel bar	attic bath	tbd			
h	t.p. holder	attic bath	tbd			
i	robe hook	attic bath	tbd			

appliance schedule

ID	ITEM	LOCATION	MANUFACTURER	MODEL	FITTINGS	REMARKS
1	washer/dryer	ground flr. bath	tbd.			stackable units
2	fridge	kitchen	tbd.			
3	dishwasher	kitchen	tbd.			
4	range	kitchen	tbd.			
5	vent hood	kitchen	tbd.			

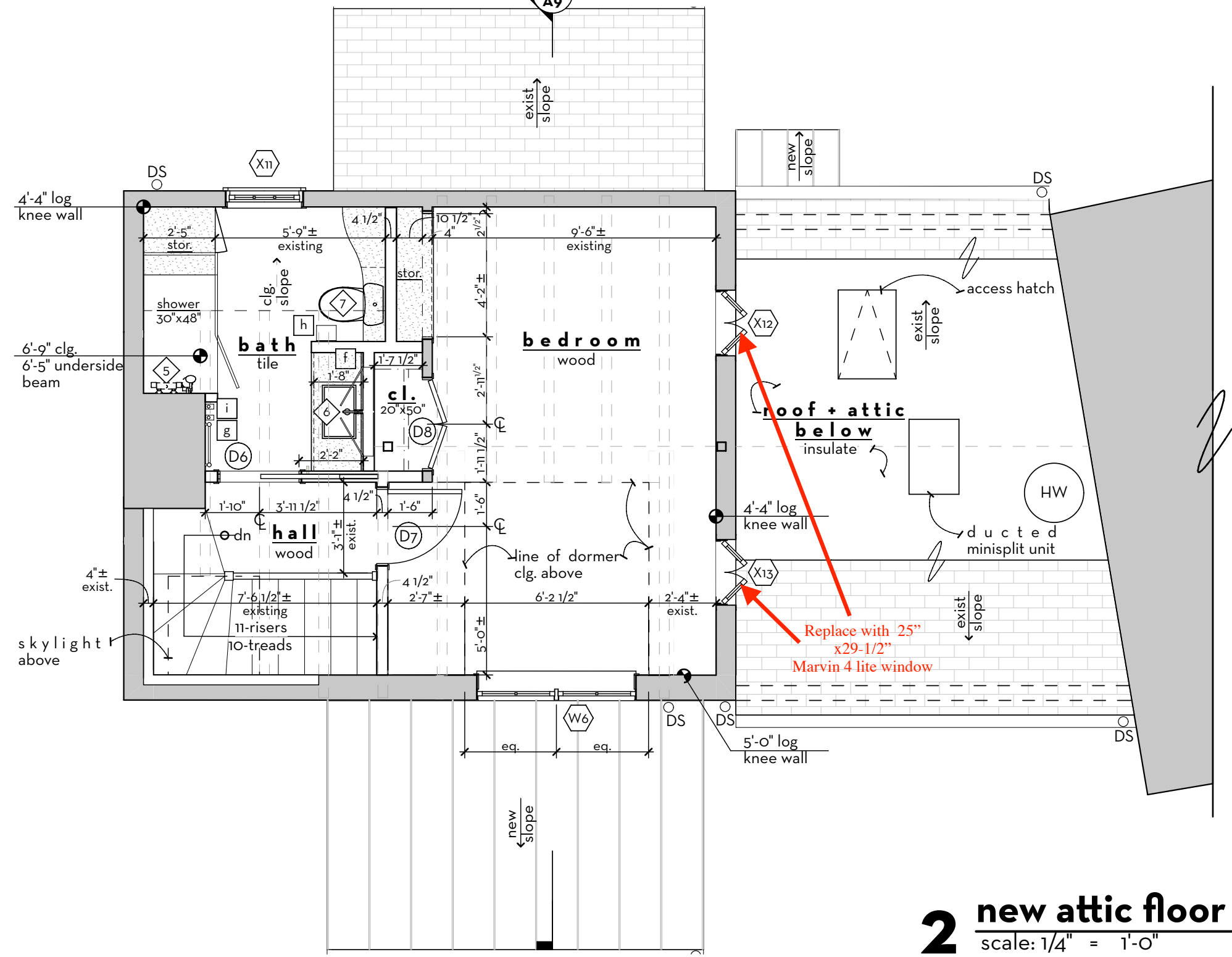
plumbing schedule

NO.	ITEM	LOCATION	MANUFACTURER	MODEL	FITTINGS	REMARKS
1	sink	ground flr. bath	tbd.			
2	toilet	ground flr. bath	tbd.			
3	shower controls	basement bath	tbd.			include linear drain, adjustable handheld bar.
4	sink	kitchen	tbd.			incl. faucet / garb. disp.
5	shower controls	attic bath	tbd.			include linear drain, adjustable handheld bar.
6	sink	attic bath	tbd.			
7	toilet	attic bath	tbd.			



1 new roof plan

scale: 1/4" = 1'-0"



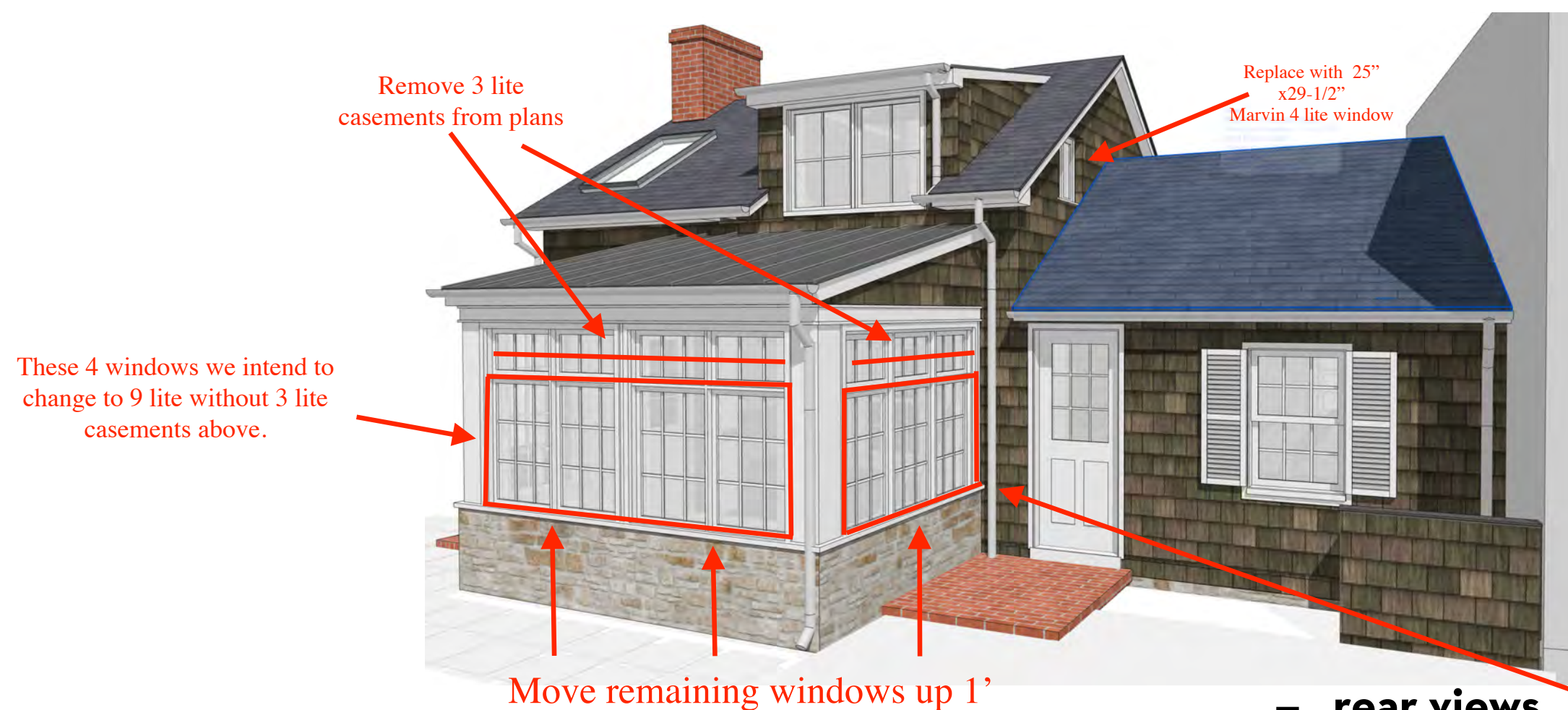
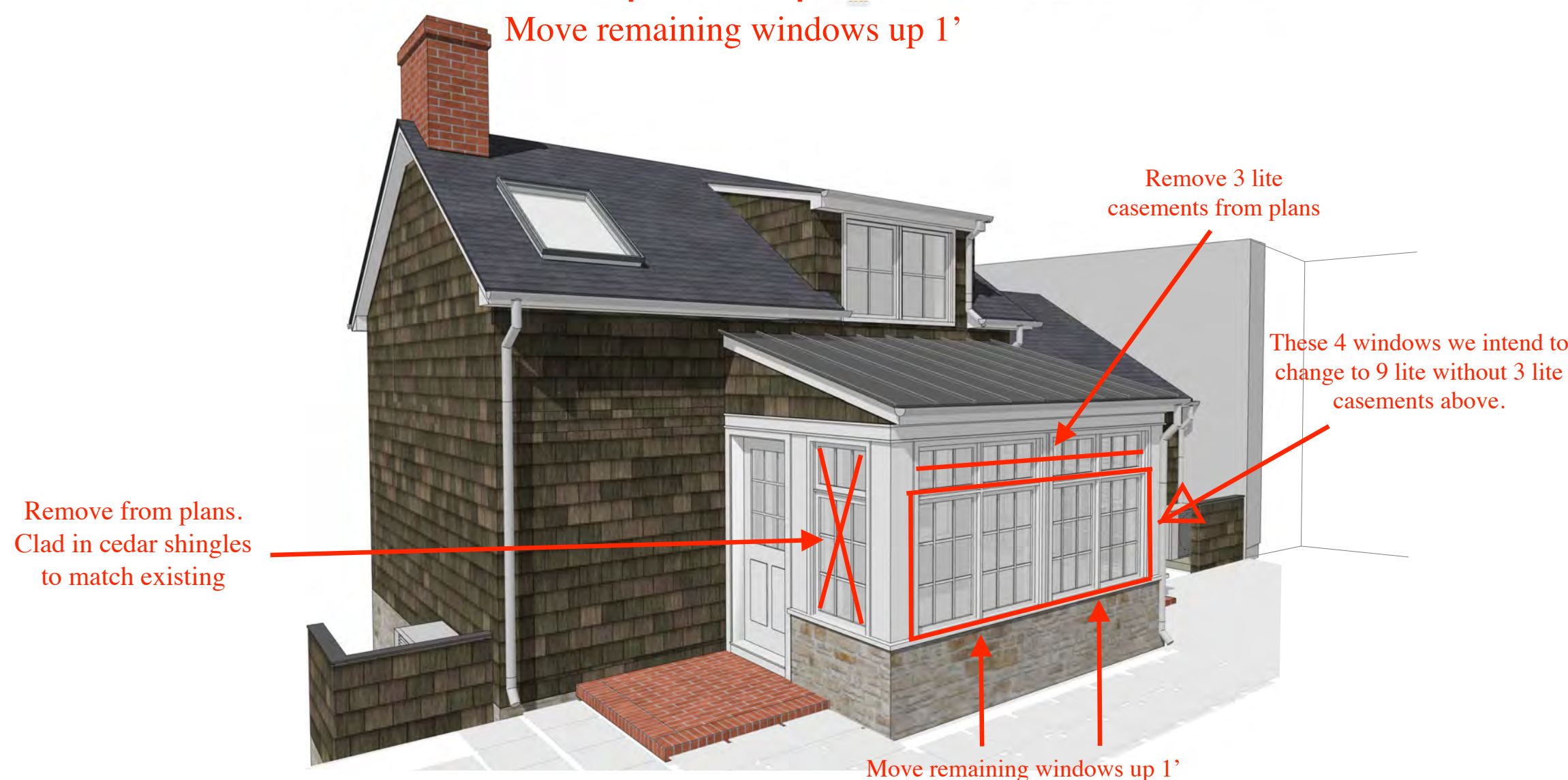
2 new attic floor plan

phase	date
MD	05.19.2020
SD REV	06.05.2020
HPC	06.17.2020
Submission	
MHT	07.24.2020
Submission	
MHT	10.20.2020
Amendment	

/Volumes/Brennan/01PROJECTS/residential/stewart 2020/2 project drawings/2 working drawings/stewart mht amendment set.pln 10/20/20 6:05 PM © Brennan+Company Architects



Move remaining windows up 1'



1 rear views
not to scale

These 3 windows we intend to change to 9 lite without 3 lite casements above.



2 front views
not to scale



SCHEMATIC 3D VIEWS | SEE 2D DRAWINGS FOR FINAL INTENT

phase	date
MD	05.19.2020
SD REV	06.05.2020
HPC	06.17.2020
Submission	
MHT	07.24.2020
Submission	
MHT	10.20.2020
Amendment	



/Volumes/Brennan/01PROJECTS/01residential/stewart 2020/2 project drawings/2_working drawings/stewart mht amendment set.pln 10/20/20 6:04 PM © Brennan-Company Architects

general exterior notes

- 1a

ROOF
(shingle)

Replace existing non-historic asphalt shingle roof with 30-year Certaineed Residential Roofing XT 30LR in colonial slate color; tab size and alignment to match existing. Include continuous roof ridge vent. Refer to *NPS Technical Brief 4 Roofing for Historic Buildings*.
- 1b

ROOF
(metal)

Install new Double Lock 1" standing seam metal roof by Riverside Sheet Metal; color 'UNDAR' Midnight Bronze; 18" wide panels.
- 2

CHIMNEY

Repoint + repair existing brick chimney as required. Remove loose mortar + infill new mortar to match existing in material consistency, color and tooling. Refer to *NPS Technical Brief 2 Repointing Mortar Joints in Historic Masonry Buildings*.
- 3

GUTTERS +
DOWNSPOUTS

Repair existing 1/2 round aluminum gutters + round downspouts as required; install new gutters + downspouts to match existing as indicated on the roof plan and elevations; size appropriately. Provide pre-cast concrete splash blocks to all above grade downspouts. Refer to *NPS Technical Brief 4 Roofing for Historic Buildings*.
- 4

SKYLIGHT

Provide new skylights as shown; see window schedule for sizes + details.
- 5

STONE WALLS

Repair existing stone walls as required. Remove loose mortar + infill new mortar to match existing in material consistency, color and tooling. Reconstruct front porch NE pier to match existing. Refer to *NPS Technical Brief 2 Repointing Mortar Joints in Historic Masonry Buildings*.
- 6

LOG WALLS

Stabilize + repair existing log members as required. Where small areas of wood are decayed, epoxy consolidation techniques and repair can be utilized following decay removal. For larger areas where wood splicing is required, newly installed splices shall be seasoned wood, carved and match existing in species, pattern and wood grain direction. Chinking repair to follow structural stabilization and daubing analysis for material composition to match existing daubing. Refer to *NPS Technical Brief 26 The Preservation and Repair of Historic Log Buildings*.
- 7

WOOD SIDING

Protect existing cedar shingles during construction. Clean, repair and replace as required using manual, non-abrasive methods. Any infill replacement shingles should match existing in wood species, coursing, thickness and exposure. Stain to match existing.
- 8

FLASHING

Replace + provide new (as required) step copper flashing at chimney and all roof/wall transitions to match existing. Inspect existing valleys and ridges and provide copper flashing including all window headers and sills as required. Refer to *NPS Technical Brief 4 Roofing for Historic Buildings*.
- 9a

WINDOWS
(existing)

Remove existing aluminum storms; refurbish, cover + store onsite for re-installation. Protect existing double hung wood windows during repair work. Refurbish, prep + paint all window sashes. Broken glazing to be replaced with clear glass to match original. Where wood is deteriorated, epoxy patching compound should be used to build up decayed wood. If trim is deteriorated beyond repair, new trim to match existing should be laced into areas needing replacement. New weatherstripping, weights, chains and locks should be installed as required to make windows fully functional. Sash lock finish to match original. Upon repair completion, window sashes, trim + re-installed storm windows to be prepped + painted to match wood fascia and trim. See Window Schedule for details + sizes. Refer to *NPS Technical Brief 9 The Repair of Historic Wooden Windows*.
- 9b

WINDOWS
(replacement)

Existing (2) non-historic fiberglass windows at the front (1 over 1 double-hung) to be replaced with 9 over 6 wood windows to match historic original windows. New wood double-hung units to fit within existing window opening size; new muntin width, profile, trim + sill to match existing. See Window Schedule for details + sizes.
- 9c

WINDOWS
(new)

New casement windows to have a similar width/height lite ratio to existing double-hung units. New wood casements to match existing muntin width, profile, trim + sill. See Window Schedule for details + sizes.
- 10a

EXT. DOORS

Remove existing non-historic front and rear exterior doors. Replace with new solid wood doors. New door muntin size + profile to match historic profile. Provide new weatherstripping + hardware by Baldwin or approved equal in oil rubbed bronze finish. See Door Schedule for details + sizes.
- 10b

EXT. SCREEN
DOORS

Install new storm/screen door panels as noted on door schedule. New powder coated alum. storm/screen combo door panel by Marvin or eq., painted to match exterior trim. New solid wood storm/screen door panel by Marvin or eq., stained.
- 11

WOOD TRIM

Existing wood trim including rake, fascia board, window and door trim to be refurbished by hand tools. Where missing, provide new grade A, no knots, western red cedar to match existing trim in dimension, profile, texture and detail. Backprime, prep + paint. Refer to *NPS Technical Brief 9 The Repair of Historic Wooden Windows*.
- 12

FRONT PORCH
rail

Remove non-historic north-east extension of porch railing; salvage removed unit segment for reinstall on east side of porch. Refurbish all rail as required using hand tools. Where wood is deteriorated, epoxy patching compound should be used to build up decayed wood. Secure existing bottom rail, rail posts and top rail with s.s. countersunk screws to existing wood posts; fill, prep and paint. Add new 1 3/4" x 1 5/8" W-5203 cedar handrail by Brunswell Lumber and Millwork at 36" a.f.f. to meet railing requirements. Secure new handrail to existing wood posts as shown; prep. + paint. Refer to *NPS Technical Brief 45 Preserving Historic Wooden Porches*.
- posts

Protect existing wood posts during construction; refurbish using hand tools. Prep + paint. Refer to Note 11 Wood Trim above.
- decking

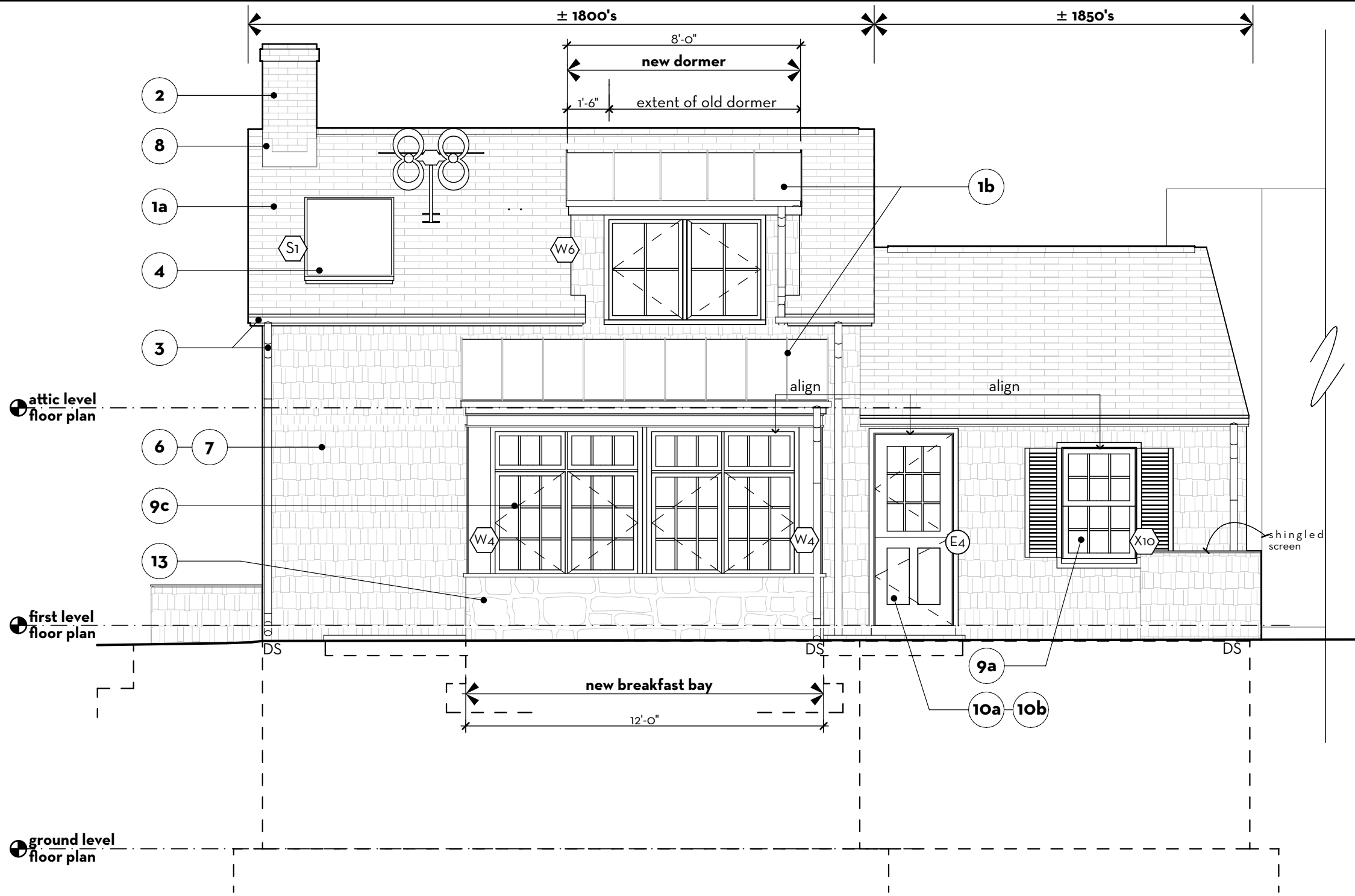
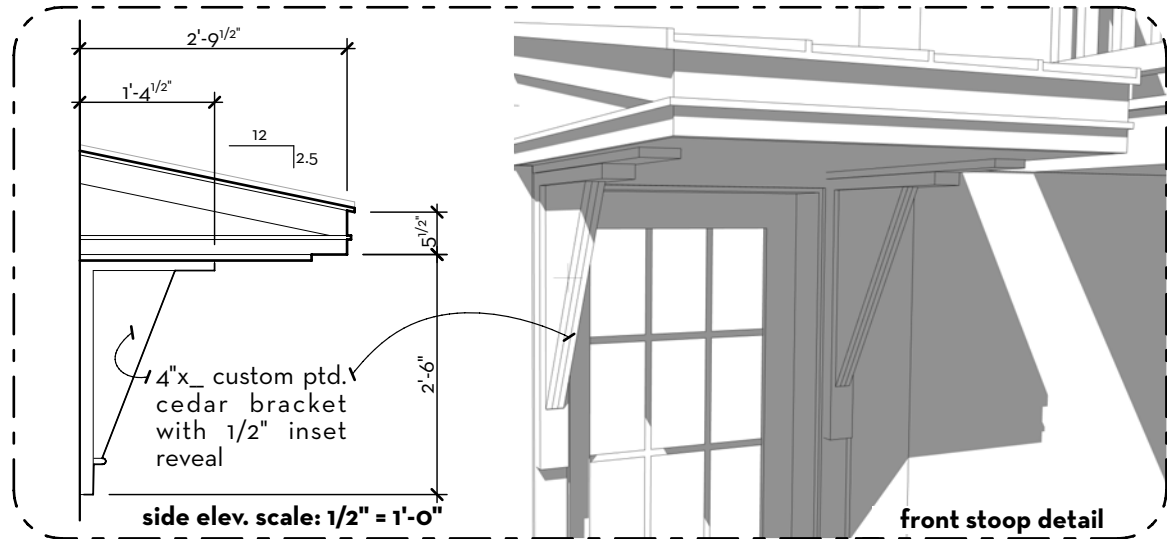
Protect existing wood decking during construction. Refurbish + replace in kind any boards deteriorated beyond repair. New boards to match existing in size, thickness, wood species, grain orientation and profile; re-use of salvaged decking boards from removed eastern portion of porch is preferred. Prep. + paint.
- ceiling

Protect existing t&g ceiling during construction. Refurbish + replace in kind any ceiling deteriorated beyond repair. New boards to match existing in size, thickness, wood species, grain orientation and profile; re-use of salvaged ceiling from removed eastern portion of porch is preferred. Prep. + paint.
- 13

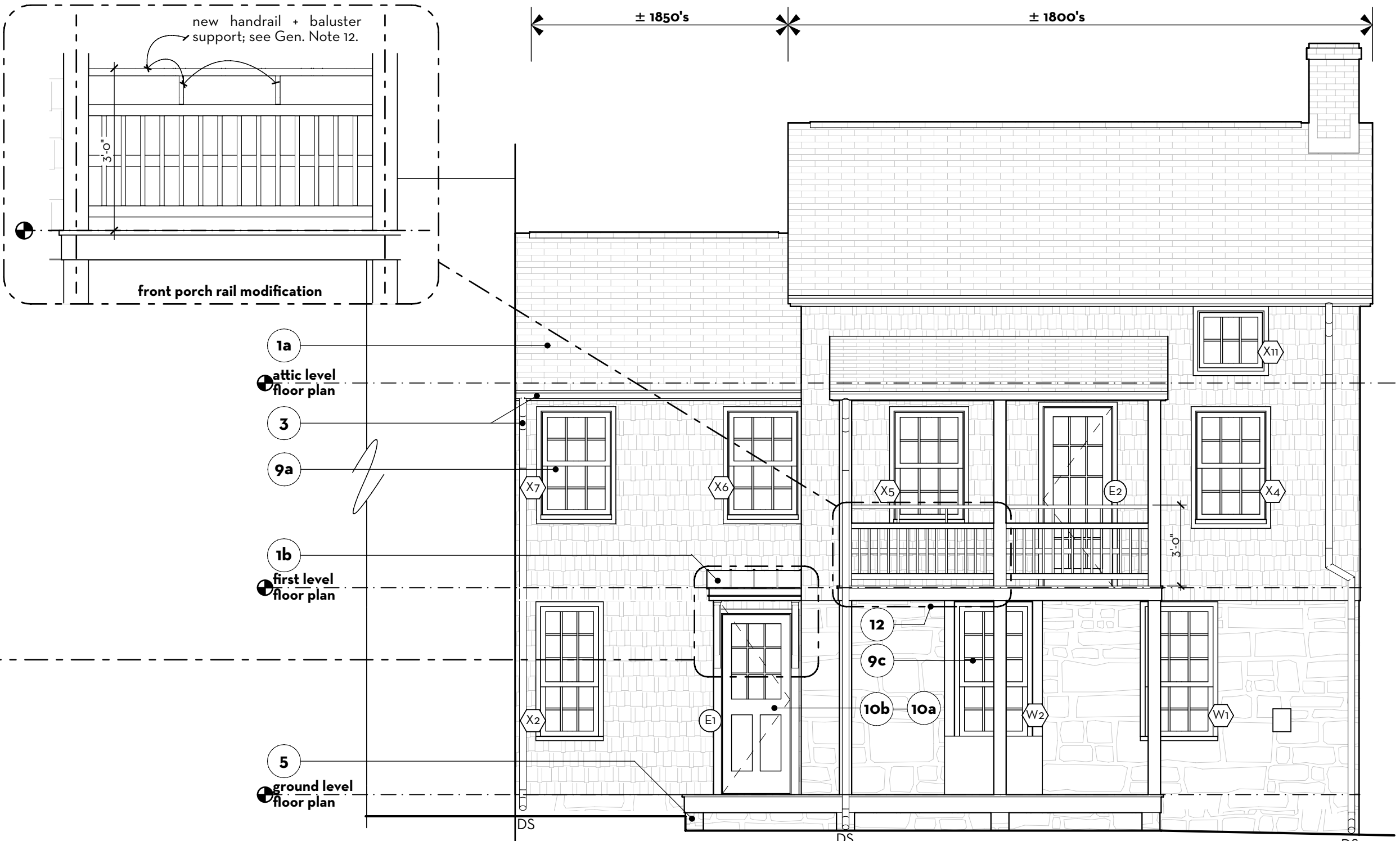
REAR BAY
base

New 4" stone veneer on cmu block base from reclaimed granite onsite or equal; size, coursing, layout pattern, mortar color, texture and tooling to be compatible with existing stone wall: new work to be consistent with the historic stone wall.
- trim

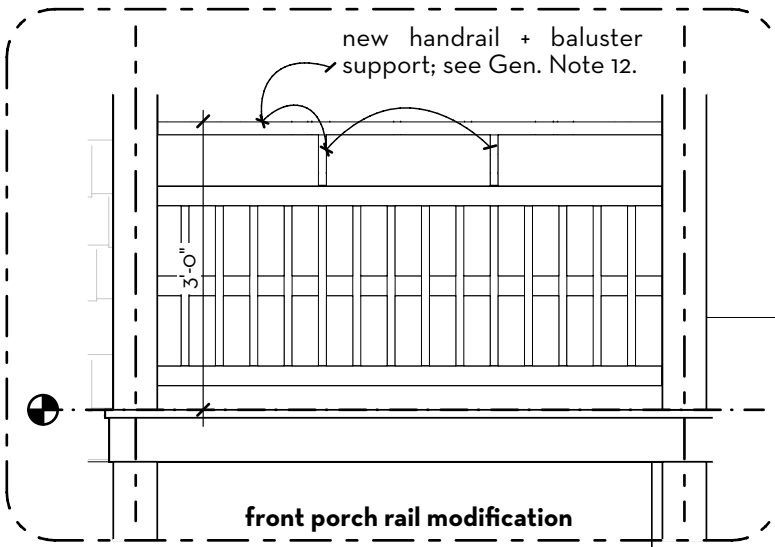
Provide new grade A, no knots, western red cedar trim. fascia + gutterboard to match existing trim in dimension, profile, texture and detail. Backprime, prep + paint.



1 new rear (south) elevation
scale: 1/4" = 1'-0"



2 new front (north) elevation
scale: 1/4" = 1'-0"



front porch rail modification

phase	date
MD	05.19.2020
SD REV	06.05.2020
HPC	06.17.2020
Submission	
MHT	07.24.2020
Submission	
MHT	10.20.2020
Amendment	





Attic windows to be replaced

UNIT SUMMARY

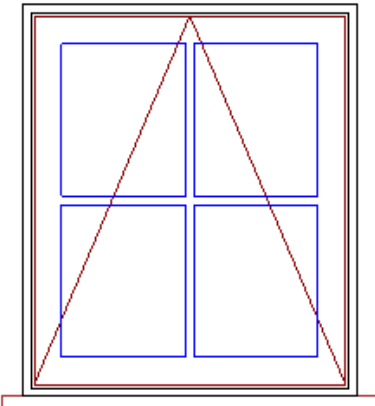
The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.
Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

NUMBER OF LINES: 1		TOTAL UNIT QTY: 2		EXT NET PRICE: USD 2,228.92		
LINE	MARK UNIT	PRODUCT LINE	ITEM	NET PRICE	QTY	EXTENDED NET PRICE
7		Ultimate Wood	Awning Push Out RO 26" X 30"	1,114.46	2	2,228.92

LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #7	Mark Unit:	Net Price:		1,114.46
Qty: 2		Ext. Net Price:	USD	2,228.92



As Viewed From The Exterior

FS 25" X 29 1/2"

RO 26" X 30"

Egress Information

No Egress Information available.

Primed Pine Exterior
 Primed Pine Interior
 Back Prime
 Ultimate Wood Awning Push Out - Push Out
 Rough Opening w/ Subsill
 26" X 30"
 Frame Size w/ Subsill
 25" X 29 1/2"
 Primed Pine Sash Exterior
 Primed Pine Sash Interior
 IG - 3/4"
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W2H
 Primed Pine Ext - Primed Pine Int
 Ogee Interior Glazing Profile
 Standard Bottom Rail
 Beige Weather Strip
 Oil Rubbed Bronze Push Out Handle
 Swinging Wood Screen
 Charcoal Hi-Transparency Fbrgls Mesh
 Primed Pine
 Ogee Interior Screen Profile
 Screen Hardware
 Concealed Hinge
 Solid Wood Covers
 4 9/16" Jambs
 Exterior Casing - None
 Primed Pine Standard Subsill
 No Installation Method
 ***Note: Unit Availability and Price is Subject to Change

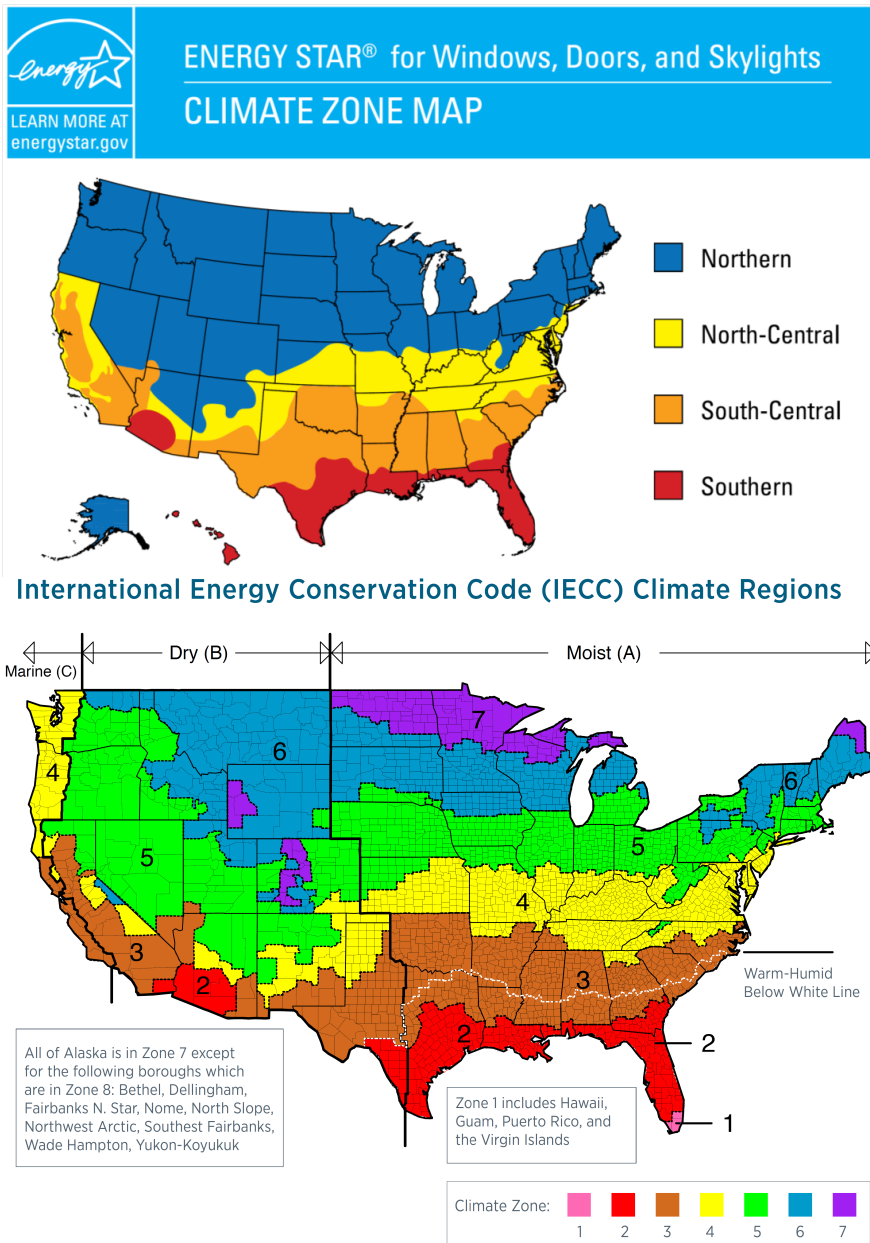
Project Subtotal Net Price: USD	2,228.92
6.000% Sales Tax: USD	133.74
Project Total Net Price: USD	2,362.66

PRODUCT AND PERFORMANCE INFORMATION

NFRC energy ratings and values may vary depending on the exact configuration of glass thickness used on the unit. This data may change over time due to ongoing product changes or updated test results or requirements.

The National Fenestration Rating Council (NFRC) has developed and operates a uniform national rating system for the energy performance of fenestration products, including windows and doors. For additional information regarding this rating system, see www.nfrc.org.

Review the map below to determine if your units meet ENERGY STAR for your location.



UNIT SUMMARY

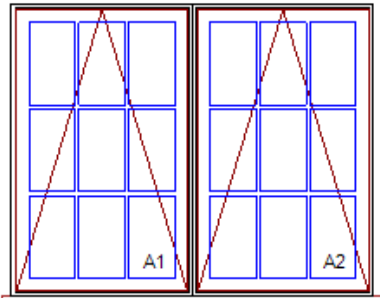
The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.
Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

NUMBER OF LINES: 2		TOTAL UNIT QTY: 3		EXT NET PRICE: USD 7,913.73		
LINE	MARK UNIT	PRODUCT LINE	ITEM	NET PRICE	QTY	EXTENDED NET PRICE
1	W4	Ultimate Wood	Marvin Assembly RO 61" X 48 9/16"	2,194.59	2	4,389.18
2	W5	Ultimate Wood	Marvin Assembly RO 78" X 48 9/16"	3,524.55	1	3,524.55

LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: W4	Net Price:		2,194.59
Qty: 2		Ext. Net Price:	USD	4,389.18



As Viewed From The Exterior

FS 60" X 48 1/16"

RO 61" X 48 9/16"

Egress Information A1, A2

No Egress Information available.

Primed Pine Exterior
Primed Pine Interior
Back Prime
2W1H - Rectangle Assembly
Assembly Rough Opening w/ Subsill
61" X 48 9/16"

Unit: A1

Ultimate Wood Awning - Roto Operating
CN 3048
Rough Opening w/ Subsill
31" X 48 9/16"
Frame Size w/ Subsill
30" X 48 1/16"

Primed Pine Sash Exterior

Primed Pine Sash Interior

IG - 3/4"

Low E2 w/Argon

Black Perimeter and Spacer Bar

5/8" SDL - With Spacer Bar - Black

Rectangular - Standard Cut 3W3H

Primed Pine Ext - Primed Pine Int

Ogee Interior Glazing Profile

Standard Bottom Rail

Beige Weather Strip

Oil Rubbed Bronze Folding Handle

Oil Rubbed Bronze Multi - Point Lock

Interior Wood Screen

Bright View Mesh

Primed Pine

Ogee Interior Screen Profile

Unit: A2

Ultimate Wood Awning - Roto Operating

CN 3048

Rough Opening w/ Subsill

31" X 48 9/16"

Frame Size w/ Subsill

30" X 48 1/16"

Primed Pine Sash Exterior

Primed Pine Sash Interior

IG - 3/4"

Low E2 w/Argon

Black Perimeter and Spacer Bar

5/8" SDL - With Spacer Bar - Black

Rectangular - Standard Cut 3W3H

Primed Pine Ext - Primed Pine Int

Ogee Interior Glazing Profile

Standard Bottom Rail

Beige Weather Strip

Oil Rubbed Bronze Folding Handle

Oil Rubbed Bronze Multi - Point Lock

Interior Wood Screen

Bright View Mesh

Primed Pine

Ogee Interior Screen Profile

Primed Pine Exterior Mull Cover

Standard Mull Charge

4 9/16" Jambs

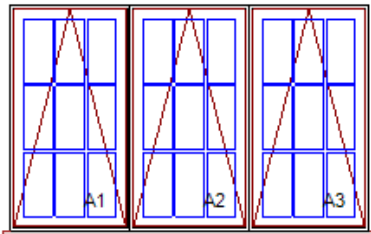
Exterior Casing - None

Primed Pine Standard Subsill

No Installation Method
***Note: Non-Certified mull: check with local code officials for project specific requirements.
***Note: Unit Availability and Price is Subject to Change

Line #2	Mark Unit: W5	Net Price:		3,524.55
Qty: 1		Ext. Net Price:	USD	3,524.55

MARVIN 



As Viewed From The Exterior

FS 77" X 48 1/16"

RO 78" X 48 9/16"

Egress Information A1, A2, A3

No Egress Information available.

Primed Pine Exterior
Primed Pine Interior
Back Prime
3W1H - Rectangle Assembly
Assembly Rough Opening w/ Subsill

78" X 48 9/16"

Unit: A1

Ultimate Wood Awning - Roto Operating
Basic Frame 25 43/64" X Call Number 48
Rough Opening w/ Subsill
26 43/64" X 48 9/16"

Primed Pine Sash Exterior

Primed Pine Sash Interior

IG - 3/4"

Low E2 w/Argon

Black Perimeter and Spacer Bar

5/8" SDL - With Spacer Bar - Black

Rectangular - Special Cut 3W3H

Primed Pine Ext - Primed Pine Int

Ogee Interior Glazing Profile

Standard Bottom Rail

Beige Weather Strip

Oil Rubbed Bronze Folding Handle

Oil Rubbed Bronze Multi - Point Lock

Interior Wood Screen

Bright View Mesh

Primed Pine

Ogee Interior Screen Profile

Unit: A2

Ultimate Wood Awning - Roto Operating
Basic Frame 25 43/64" X Call Number 48
Rough Opening w/ Subsill
26 43/64" X 48 9/16"

Primed Pine Sash Exterior

Primed Pine Sash Interior

IG - 3/4"

Low E2 w/Argon

Black Perimeter and Spacer Bar

5/8" SDL - With Spacer Bar - Black

Rectangular - Special Cut 3W3H

Primed Pine Ext - Primed Pine Int

Ogee Interior Glazing Profile

Standard Bottom Rail

Beige Weather Strip

Oil Rubbed Bronze Folding Handle

Oil Rubbed Bronze Multi - Point Lock

Interior Wood Screen

Bright View Mesh

Primed Pine

Ogee Interior Screen Profile

Unit: A3

Ultimate Wood Awning - Roto Operating
Basic Frame 25 43/64" X Call Number 48
Rough Opening w/ Subsill
26 43/64" X 48 9/16"

Primed Pine Sash Exterior

Primed Pine Sash Interior

IG - 3/4"

Low E2 w/Argon

Black Perimeter and Spacer Bar
5/8" SDL - With Spacer Bar - Black
Rectangular - Special Cut 3W3H
Primed Pine Ext - Primed Pine Int
Ogee Interior Glazing Profile
Standard Bottom Rail
Beige Weather Strip
Oil Rubbed Bronze Folding Handle
Oil Rubbed Bronze Multi - Point Lock
Interior Wood Screen
Bright View Mesh
Primed Pine
Ogee Interior Screen Profile
Primed Pine Exterior Mull Cover
Standard Mull Charge
4 9/16" Jambs
Exterior Casing - None
Primed Pine Standard Sub sill
No Installation Method
***Note: Non-Certified mull: check with local code officials for project
specific requirements.
***Note: Unit Availability and Price is Subject to Change

Project Subtotal Net Price: USD	7,913.73
6.000% Sales Tax: USD	474.82
Project Total Net Price: USD	8,388.55

PRODUCT AND PERFORMANCE INFORMATION

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